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Planning Commission Staff Report

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: ASHLEE MACDONALD, SENIOR PLANNER *am*
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THROUGH: CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *cl*
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

MEETING DATE: APRIL 1, 2020

SUBJECT: DR19-208, GILBERT CROSSROADS MASTER SIGN PLAN

STRATEGIC INITIATIVE: Prosperous Community

To allow for a Master Sign program for a Light Industrial and Multi-Family development.

RECOMMENDED MOTION

Approve the Findings of Fact and approve DR19-208 Gilbert Crossroads Master Sign Plan for approximately 43.5 acres, generally located at the southeast corner of Germann Road and Mustang Drive, and zoned Multi Family-Medium (MF-M) and Light Industrial (LI) with a Planned Area Development (PAD) overlay.

APPLICANT/OWNER

Company: Trademark Visual
Name: Jim Bacher
Address: 3825 S. 36th St
Phoenix, AZ 85040
Phone: 602-792-3120
Email: jbacher@trademarkvisual.com

Company: Eastgroup Properties
Name: Mike Sacco
Address: 2200 E Camelback Rd, Ste 210
Phoenix, AZ 85016
Phone: 480-840-8600
Email: mike.sacco@eastgroup.net

BACKGROUND/DISCUSSION

History

Date	Description
<i>September 25, 2007</i>	Town Council approved A07-39 (Ordinance No. 2020), annexing approximately 53 acres including the subject site.
<i>October 20, 2009</i>	Town Council approved Z09-08 (Ordinance No. 2257), rezoning approximately 46 acres including the subject site from Maricopa County Rural - 43 to Town of Gilbert Business Park (BP).
<i>November 12, 2009</i>	The Design Review Board approved DR09-21 for the Rockefeller Group Gilbert Crossroads project, consisting of 6 office buildings on approximately 44 acres, including the subject site.
<i>June 6, 2018</i>	The Planning Commission recommended approval of GP18-04 / Z18-05 and GP18-05/Z18-06 to the Town Council.
<i>September 6, 2018</i>	The Town Council approved GP18-04 (Resolution No. 4003) / Z18-05 (Ordinance No. 2681), changing the land use designation and zoning to Light Industrial (LI) with a PAD overlay and GP18-05 (Resolution No. 4002) / Z18-06 (Ordinance No. 2680) changing the land use designation to R>14-25 and the zoning to MF/M with a PAD overlay
<i>December 5, 2018</i>	The Planning Commission approved DR18-168 for Gilbert Crossroads Light Industrial.

Overview

Gilbert Crossroads is a 43.5 acre campus, which includes both the Gilbert Crossroads Light Industrial site as well as the future Liv Gilbert Crossroads multi-family development located to the south. To date, the industrial site has been approved and is under construction. This specific request is for a Master Sign Plan (MSP) for the entire project area in compliance with the conditions and evaluation criteria of Land Development Code (LDC) Section 4.405 C.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Light Industrial (LI)	Light Industrial (LI)	Germann Road then Heliae facility/greenhouses
South	City of Chandler – Single Family Residential	City of Chandler - Single Family Residential PAD	Existing single family residential subdivision (7,800 sq. ft. parcels, typical)
East	Business Park (BP)	Business Park (BP) and Maricopa County Rural - 43	Undeveloped
West	Business Park (BP)	Business Park (BP) PAD	Undeveloped
Site	Light Industrial (LI) and R>14-25 du/AC	Light Industrial (LI) PAD and MF-M/PAD	Industrial buildings under construction and undeveloped

Project Signs

Sign Type	Description	Maximum Size (L x H) and Sign Area	Count	Materials
Industrial Tenant Monument Signs	Double sided freestanding signs located along Germann Road for use by various tenants.	12' x 8'-2" and 8'-8" x 15' 60 SF	3	Aluminum steel with corten steel accent
Monument Signs	Double sided freestanding project identification located along Mustang Drive and at the Multi-family entry off the private drive.	5'-2" x 16' 60 SF	3	Aluminum cabinet on top of CMU block with sand texture finish and stone veneer accents
Wall Signs	Sign band locations identified – signs to be reviewed on an individual basis with sign permit submittal	Varies – must comply with LDC	TBD	TBD

DISCUSSION

In accordance with the conditions of approval for Gilbert Crossroads (DR18-168), the applicant is requesting approval of a Master Sign Plan. The MSP in this case will allow the industrial users and the multi-family to share signage allowances and will allow for signage presence for the multi-family along Germann, where they have no direct street frontage. A variety of sign types are included in this MSP and are proposed to ensure uniformity in sign design.

Monument Signs

There are two categories of monument signage proposed –tenant monument signs and general monument signs. The tenant monument signs are to be utilized by the industrial users and will contain multiple tenants. There are two designs for this signage, both utilizing aluminum steel with corten steel as an accent.

Additionally, monument signage is proposed for the multi-family development. This signage is not designed for multiple tenants but will provide signage along Germann to direct traffic to the multi-family units south of the industrial development. The signs include aluminum on top of CMU block and is accented with a stone veneer.

Industrial Multi-Tenant Wall Signs

Wall signs may be located on the building. No exposed raceways are allowed. Allowable square footage is calculated by the width of the tenant suite times (X) the distance of the building from the street (multiplier of 1 if the building is set back less than 75' from the street and a multiplier of 1.5 if the building is set back 75' or more from the street). The sign area allowance may be used on all four sides of the building. All wall signage shall be no larger than necessary for visibility.

Liv Wall Signs

The multi-family signage is comprised of individual aluminum letters that will all be counted toward the sign area allowance. Signs may be located on the north side of the clubhouse and the north side of the northeast and northwest buildings.

PUBLIC NOTIFICATION AND INPUT

An official notice of the meeting agenda was posted in all the required public places within the Town.

Staff has received no comment from the public.

STAFF RECOMMENDATION

Approve the Findings of Fact and approve DR19-208, Gilbert Crossroads Master Sign Plan for approximately 43.5 acres, generally located at the southeast corner of Germann Road and Mustang Drive, and zoned Multi Family-Medium (MF-M) and Light Industrial (LI) with a Planned Area Development (PAD) overlay., subject to conditions:

1. Construction of the project shall conform to the exhibits approved by the Planning Commission at the April 1, 2019 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.
3. All signage will require a sign permit.

Respectfully submitted,



Ashlee MacDonald, AICP
Senior Planner

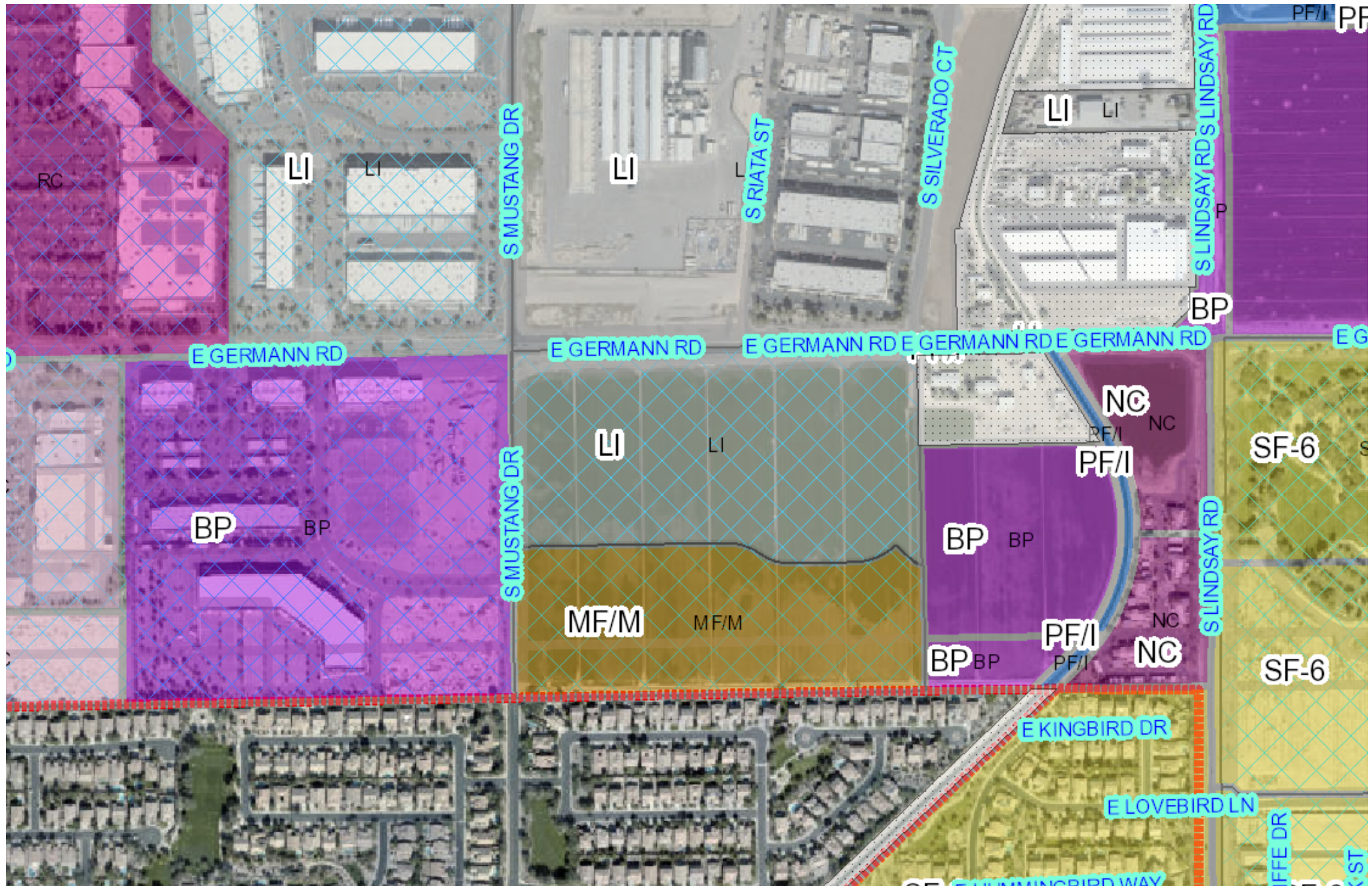
Attachments and Enclosures:

- 1) Finding of Fact
- 2) Vicinity Map
- 3) Master Sign Plan

**FINDINGS OF FACT
DR19-08, Gilbert Crossroads**

1. The project as conditioned is consistent with the applicable Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby development; and
5. The project design provides for safe and efficient provisions of public services.

Gilbert Crossroads MSP SEC Mustang and Germann



GILBERTCROSSROADS

BUSINESS PARK

455 EAST GERMANN ROAD | GILBERT, ARIZONA 85286

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C - LIV SIGNS

C1 - MONUMENT SIGNS

C2 - DIRECTORY SIGN

C3 - WALL SIGNS

C4 - FUTURE RESIDENT SIGN

GENERAL INFORMATION

PROJECT

Gilbert Crossroads
455 E. Germann Rd.
Gilbert, AZ 85286

PROPERTY OWNERS

EastGroup Properties LP
2200 E. Camelback Rd. Suite 210
Phoenix, AZ 85016

RG Germann LLC
500 N. Juniper Dr. Suite 150
Chandler, AZ 85226

RG LIV CROSSROADS LLC
8950 S. 52nd St. #115
Tempe, AZ 85284

PARCEL INFORMATION

PARCEL NUMBERS

304-56-933
304-56-934
304-56-016N

AREA IN ACRES

43.5 +/-

ZONING

LI - Light Industrial
MF - Multifamily

DEVELOPER

EastGroup Properties LP
2200 E. Camelback Rd. Suite 210
Phoenix, AZ 85016

Mike Sacco
602-840-8600

NARRATIVE

Gilbert Crossroads is a proposed 317,959 sq mix of 4 light industrial use freestanding buildings and a multifamily living complex at E. Germann Road & Mustang Road, Gilbert, AZ 85286. The purpose of this Sign Package is to set a visually consistent fabrication and location sign standard for all future exterior signs at this site.

SIGNAGE CONSULTANT

Trademark Visual, Inc.
3825 S. 36th St.
Phoenix, AZ 85040
602-272-5055

Jim Bacher
jbacher@trademarkvisual.com

SIGN CRITERIA

These criteria have been developed to insure design compatibility among all signs at Gilbert Crossroads located at E. Germann and Mustang Roads in Gilbert, Arizona. These criteria exist to maintain a continuity of quality and aesthetics throughout the site for the mutual benefit of all tenants, and to comply with the regulations of the local municipal sign and electrical codes. Conformance to these criteria will be strictly enforced. Any sign installed that is non-conforming to these criteria not approved by the Owner must be removed or brought into conformance by the Tenant and/or its sign contractor.

Owner shall approve all signs, in writing, prior to installation. Approval shall be for appearance only and not for code compliance. Sign permits must be obtained from the Town of Gilbert prior to the installation of permit required signs only.

I. GENERAL SIGNAGE REQUIREMENTS

- 1. The Owner shall review the detailed shop drawings indicating the location, size, layout, design color, illumination materials and method of attachment (2 sets) and return one (1) set to Tenant marked "Approved", "Approved as Noted", or "Revise and Re-Submit".
- 2. "Revise and Re-Submit" drawings will be returned to the Tenant with comments. These drawings shall be revised by Tenant and re-submitted to the Owner for its approval.
- 3. Upon receipt of Owner approval, Tenant shall proceed with the Town of Gilbert permit process. Permit required signs shall not be installed prior to Town approval.
- 4. No signs, advertisements, notices or other lettering shall be exhibited, inscribed painted or affixed on any part of a sign, except lettering and/or graphics which have received the prior written approval of the Owner.
- 5. Tenant and/or its representatives shall obtain all permits for any permit required exterior signs and their installation. Owner shall be responsible for all requirements, specifications and costs.
- 6. Tenant shall have the sole responsibility for compliance with all applicable statutes/codes, ordinances or other regula-

- tions for all work performed on the premises by or on behalf of the Tenant.
- 7. The Owner's approval of Tenant’s plans, specifications, calculations, or work shall not constitute an implication, representation, or certification by the Owner that said items are in compliance with applicable statutes, codes, ordinances or other regulations.
- 8. All permit required signage is subject to Town of Gilbert approval and this Comprehensive Sign Plan. Owner will support all applications for signs in compliance with this plan but cannot guarantee Town approval.
- 9. All signage shall be constructed and installed at Tenant's expense.
- 10. Tenant and the Tenant's contractor shall be responsible for the repair of any damage caused by installation or removal of any sign.
- 11. Temporary advertising devices such as attraction boards, posters, banners and flags shall be prohibited in Industrial tenant areas of the site. However, such devices will be allowed in Multifamily tenant areas with Owner approval. Refer to the Temporary Sign section of this criteria for further information.
- 12. All exterior signs shall be secured by concealed fasteners, stainless steel, or nickel or cadmium plated.
- 13. All signs shall be fabricated using full welded construction.
- 14. All penetrations of the building structure required for sign installation shall be neatly sealed in a water tight condition.
- 15. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- 16. All exposed metals shall be painted to render them inconspicuous.
- 17. No exposed raceways, crossovers, tubing or conduit will

- be permitted. All conductors, transformers, and other equipment shall be concealed.
 - 18. All electrical signs shall be constructed to UL Standards.
 - 19. All signs shall conform to International Building Code Standards.
 - 20. All electrical signs shall conform to National Electrical Code Standards.
 - 21. Tenant shall be liable for the operation of their sign contractor. Tenant shall be responsible for selecting a sign company that carries workers' compensation and commercial general liability insurance against all damage suffered or done to any and all persons and/or property while engaged in the construction or erection of signs with limits of liability satisfying the requirements of the Lease.
 - 22. Flashing, moving, or audible signs will not be permitted.
 - 23. Tenant logo styled letters may be used. Copy content of the signage shall not include the product sold without prior approval of the Owner.
- II. WALL SIGNS
- 1. All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by the Owner. Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall be permitted a minimum sign area of seventy-five (75) square feet. Wall Signs located on buildings three (3) or more stories in height shall be limited to the first floor and top floor. The maximum wall sign area of signs located on the top floor of a three story building shall not be counted against the sign allowance area of a Wall Sign on the first floor. Wall Sign located on the top floor are limited to either one (1) building sign and one (1) tenant sign, or two (2) tenant signs.
 - 2. Sign Allowance under this subsection shall mean “for buildings set back seventy-five (75) feet or less from the right-of-way, one (1) square foot of Sign Area for each one

- (1) lineal foot of the building elevation adjacent to the suite,” and “for buildings set back more than seventy-five (75) feet from the right-of-way, one and one-half (1.5) square feet of Sign Area for each one (1) lineal foot of building elevation adjacent to the suite.”
 - 3. *Height and Length.* The height of a Wall Sign shall not exceed eighty (80) percent of the vertical dimension of the sign band or wall space on which the sign is placed. The length of a Wall Sign shall not exceed eighty (80) percent of the horizontal length of the exterior building elevation of a tenant suite.
 - 4. Wall signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. Cabinet signs & Projecting signs are prohibited.
 - 5. All sign materials shall be quality in nature and include Aluminum, Steel, Stainless Steel, Acrylic, and Polycarbonate.
 - 6. Corporate Letterstyles, Logotype, Logo, and Colors may be used per Owner Approval. In instances where a Tenant has no corporate color or identity, the Wall Sign is to be in a color that contrasts the color of the wall on which it is installed.
 - 7. *Placement.* Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.
 - 8. All Tenant Wall Signs must be approved by the Owner prior to proceeding with the Town of Gilbert permit process.
- III. STORE FRONT GRAPHICS
- 1. Standard white vinyl die cut copy may be used to display hours of business, emergency numbers, etc. All window graphics and displays shall be subject to the approval of the Owner prior to fabrication or implementation. Not to exceed 25% of each first floor window area.
 - 2. Corporate Letterstyles, Logotype, Logo, and Colors may

SIGN CRITERIA

be used with Owner Approval.

- 3. All Store Front Graphics are to be installed to Tenant frontage windows/doors.
- 4. All window signs shall meet the requirements of the Town of Gilbert:
 - a. *Window Signs.* Window Signs are permitted in all zoning districts but may be placed in single-family residential zoning districts only in conjunction with non-residential uses as a permanent Wall Sign, provided that the Window Sign does not cover more than twenty-five percent (25%) of the area of any window. Window Signs may be internally illuminated. A sign permit is not required for a Window Sign.
 - b. *Door Signs.* Door Signs are permitted provided that the Door Sign does not cover more than twenty-five percent (25%) of the area of any door. Door Signs shall not be illuminated. A sign permit is not required for a Door Sign.

IV. INDUSTRIAL MULTI-TENANT MONUMENT SIGN & TENANT PANELS

- 1. Three (3) Single-Faced Multi-Tenant Monuments are located within the site for Industrial Tenant usage.
- 2. The height of these Monument Signs shall be no greater than twelve (12) feet to the top of design embellishments, and the Sign Faces shall be located between two (2) feet and ten (10) feet above grade with design embellishments added to the top, sides or bottom of the signs. The size of these Monument Signs shall not exceed sixty (60) square feet in area.
- 3. Monument Signs shall be set back a minimum of three (3) feet from the right of-way. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.
- 4. Monument Sign Panels are to be fabricated of routed aluminum backed with acrylic. All panel faces are to be painted to monument cabinet color.

- 5. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.
- 6. Tenant copy/logo not to exceed the monument face panel boundary.
- 7. All Industrial Multi-Tenant Monument Sign Panels must be approved by the Owner prior to proceeding with the Town of Gilbert permit process.

V. LIV MONUMENT SIGNS

- 1. A Multi-Family Complex Entry Sign at the principal entry or entries to a multi-family complex may have one (1) entry sign on each side of the street. Three (3) Liv complex entry monument signs are located within the site. Single and double face monuments are permissible.
- 2. The height of these Monument Signs shall be no greater than eight (8) feet to the top of design embellishments. The size of these Monument Signs shall not exceed thirty-two (32) square feet in area (Logo/Sign area only, exclusive of architectural embellishments).
- 3. Monument Signs shall be set back a minimum of three (3) feet from the property line. Monument Signs shall maintain a minimum spacing of one hundred (100) feet from any other Monument Sign on the same street frontage.

- 4. Corporate Letterstyles, Logotype, Logo, and Colors may be used. In instances where a Tenant has no corporate color or identity, text is to be in a color that contrasts the face of the monument sign panel.

- 5. Tenant copy/logo not to exceed the monument face panel boundary.
- VI. LIV DIRECTORY SIGN

- 1. One (1) single-faced directory sign is located within the Liv multifamily complex on site.
- 2. The height of this directory sign shall be no greater than

eight (8) feet to the top of design embellishments. The size shall not exceed forty (40) square feet in area.

- 3. A Directory Sign shall be set back no closer than fifteen (15) feet from any perimeter property line, except where such property line abuts other commercial or employment development and there is a cross-access between the commercial or employment properties.

- 4. A Directory Sign shall only be installed on site within landscape islands or pedestrian areas.

VII. STREET ADDRESS

- 1. Each location of a business or non-residential use shall be clearly identified by or associated with a street address for first responders to locate the same as necessary to respond to any fire or public safety issue. The sign shall serve as visible street address and identifier for delivery of mail and official governmental notification. The Street Address Sign may be externally or internally illuminated. The Street Address Sign shall not exceed six (6) square feet in Sign Area.

VIII. LOADING DOOR NUMBERS

- 1. Each loading door of a business or non-residential use shall be clearly identified by number. These number signs will be provided by the Owner in order to keep a uniform appearance. The Loading Door Number Signs shall be non-illuminated 12" tall black formed numbers.

IX. TEMPORARY SIGNS

- 1. Temporary signs are only permitted in the Multifamily tenant areas of the site. These types of signs shall be prohibited in Industrial tenant areas
- 2. Temporary signs are intended to be utilized by businesses as a short-term advertisement of special events (e.g., grand opening, going out of business), sales, and new products or services.
- 3. *General Standards.* Unless otherwise modified by this Section, or as a condition of approval, the following standards apply to all temporary signs:

- a. No movement allowed (except for movement of flying banner).
- b. No florescent color or exhibition of florescence allowed.
- c. Not allowed within a Sight Visibility Triangle and setback ten (10) feet from right-of-way.
- d. Not allowed on Public Sidewalk or right-of-way.
- e. Temporary signs shall be spaced at least 15 feet apart - maximum of four (4) per parcel.
- f. Temporary signs are allowed up until three (3) days after conclusion of an event if sign pertained to an event.
- g. No lighting or illumination is allowed on temporary signage.
- 4. A-Frame or T-Frame Signs.
 - a. *Placement.* No more than one third (1/3) of the width of a public sidewalk and must provide at least four (4) feet of sidewalk clearance
 - b. Shall not exceed 45 inches in height and 31 inches in width and shall be limited to 1 per business or tenant per public street frontage..
 - c. Shall be constructed of durable materials with a stable, weighted base.
 - d. Shall not be illuminated or animated in any way.
 - e. A-frame & T-frame signs shall only be displayed during normal business hours of operation.
- 5. Flying Banners.
 - a. *Placement.* Flying Banner Signs must be located adjacent to the parcel or business advertised thereon, Flying Banner Signs shall not be placed in raised or painted medians, with stakes fastened to or driven

SIGN CRITERIA

- into concrete, across the street from the business being advertised, on equestrian or multi-use trails, and must be placed at grade level.
- b. Minimum distance from an access drive or street intersection is 30 feet.
- c. Minimum Distance from another Flying Banner Sign, A-Frame or T-Frame Sign is 20 feet. Minimum setback of flying banner is 4 feet from edge of curb, or a distance equal to the height of the Flying Banner Sign, whichever is greater.
- d. Shall be securely tethered or supported by a base of sufficient weight and durability to withstand wind gusts, and maintained in a professional manner free from fading, tearing, and tattering.
- e. Maximum Sign Area of each Flying Banner is twelve (12) square feet. Maximum Sign Height allowed is fifteen (15) feet.

6. Stationary Banners.
(Permit Required) Banners shall be limited to one banner per street frontage, per business. Shall not be located on the roof of the building or above the building roofline.

- a. *Duration.* Banners shall be up no more than 120 days per year in the aggregate.
- b. Banner Sign Height Maximum if Displayed as a Freestanding Sign is 8 ft.
- c. Minimum Sign Setback if displayed as a Ground Sign is 3 ft. Minimum Sign Setbacks are measured from the edge of the property line. Setbacks do not apply to a Banner Sign displayed on walls.
- d. Square footage maximums are as listed in the table at right.

STATIONARY BANNER LIMITATIONS TABLE

BUILDING SQ. FT.	MAX SIGN AREA
For occupancies up to 5,000 sq. ft.	40 sq. ft.
For occupancies greater than 5,000 sq. ft. up to 15,000 sq. ft.	80 sq. ft.
For occupancies greater than 15,000 sq. ft. up to 50,000 sq. ft.	120 sq. ft.
For occupancies greater than 50,000 sq. ft.	180 sq. ft.

SITE MAP

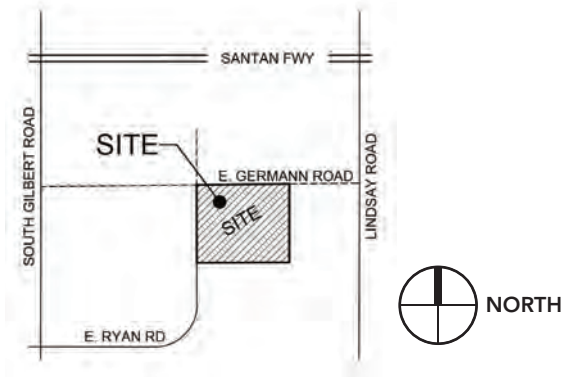


NORTH SCALE 1" = 175'0"

KEY

- GILBERT CROSSING SIGNS
- A INDUSTRIAL MULTI-TENANT MONUMENT SIGNS
 - B1 INDUSTRIAL TENANT WALL SIGNS (ILLUMINATED)
 - B2 INDUSTRIAL TENANT WALL SIGNS (NON-ILLUMINATED)
 - C1 MONUMENT SIGNS
 - C2 LIV DIRECTORY SIGN
 - C3 LIV WALL SIGNS
 - C4 LIV FUTURE RESIDENT SIGN
 - Property Line

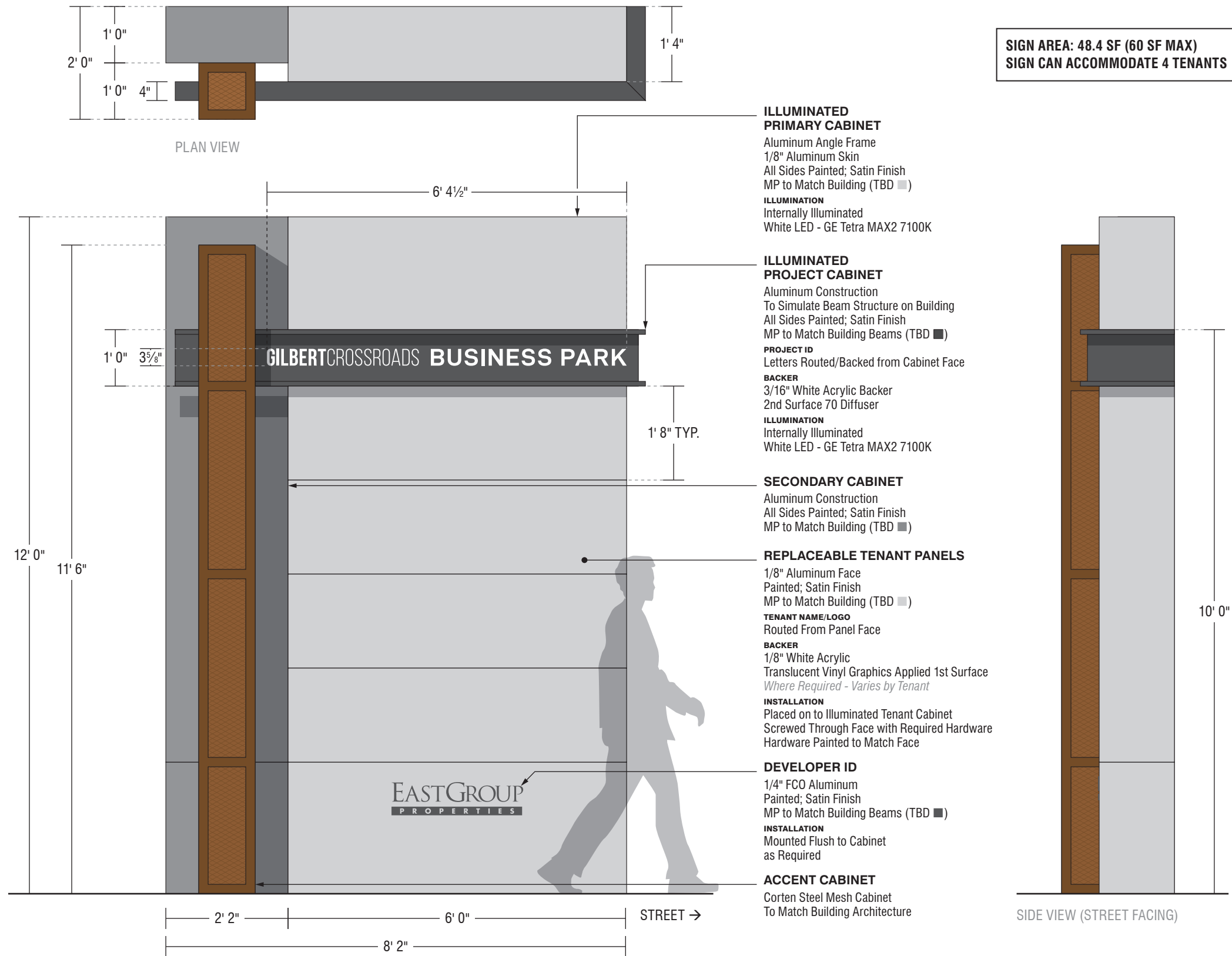
VICINITY MAP



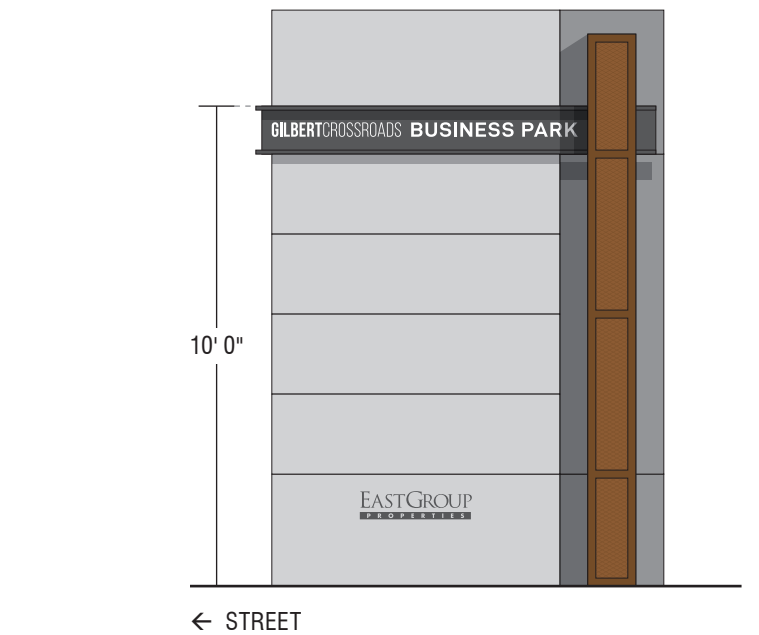
SITE DATA

ZONING: LI, MF
TOTAL SITE AREA: 43.5 ACRES (1,894,871 SF)
PROPOSED USE: LIGHT INDUSTRIAL
MULTIFAMILY COMPLEX

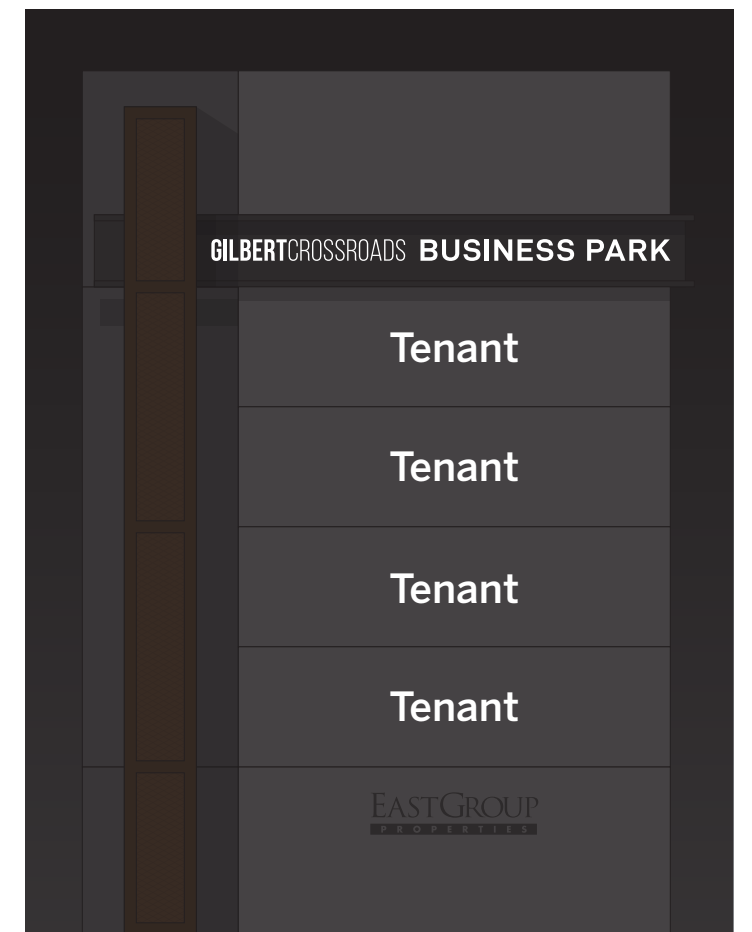
A INDUSTRIAL MULTI-TENANT MONUMENT SIGNS



A Project Detail - Standard Layout (Right Side of Entry)
SCALE 1/2" = 1'0"



B Alternate Layout (Left Side of Entry)
SCALE 1/4" = 1'0"

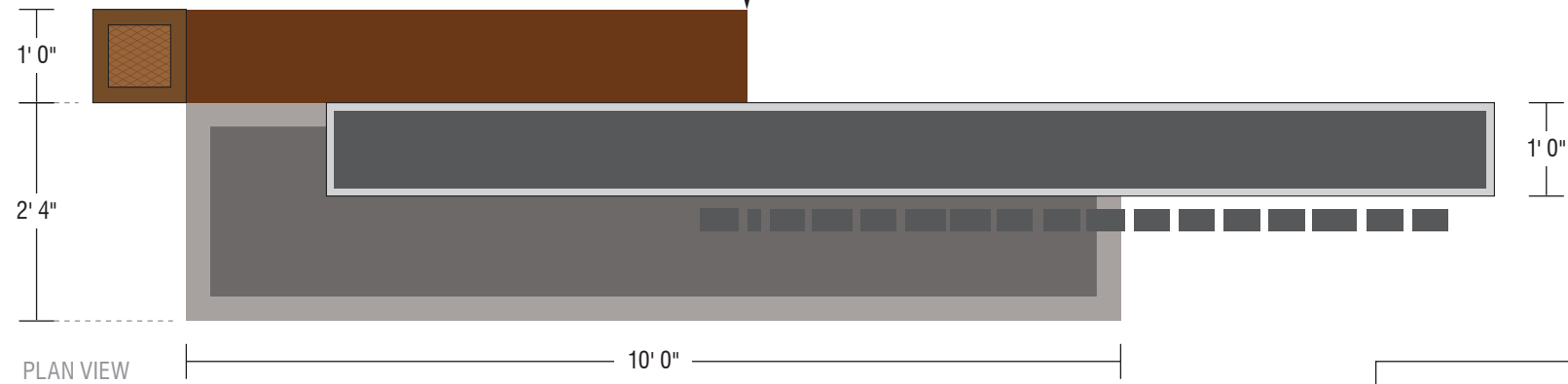


C Simulated Night View
SCALE 3/8" = 1'0"

A

INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

Alternate



ILLUMINATED TENANT CABINET

STRUCTURE
Internal Aluminum Angle Frame
1/8" Aluminum Cladding
All Sides Painted; Satin Finish
MP to Match PMS 1545 ■

ACCENT SPIRE
Corten Steel Mesh Cabinet
To Match Building Architecture

TENANT PANEL FACES
1/8" Aluminum Panel
Painted; Satin Finish
MP to Match PMS 1545 ■

TENANT NAME/LOGO
Routed From Panel Face

BACKER
3/16" White Acrylic
Translucent Vinyl Graphics Applied 1st Surface
Where Required - Color Varies by Tenant

TENANT PANEL INSTALLATION
Placed on to Structure
with Required Hardware
Hardware Painted to Match Panel

INTERNAL ILLUMINATION
White LED - GE TetraMAX 7100K

ILLUMINATED RPC LETTERS

FACES
1/8" Aluminum
Painted; Satin Finish
MP to Match Building Beams (TBD ■)

RETURNS
3" Deep, .063 Aluminum
Painted; Satin Finish
MP to Match Building Beams (TBD ■)

BACKS
.177 Clear Lexan

ILLUMINATION
Internally Illuminated
White LED - GE Tetra MAX2 7100K

INSTALLATION
Mounted 1-1/2" Off Cabinet Face w/
Aluminum Spacers

PROJECT ID CABINET

Aluminum Angle Frame
1/8" Aluminum Skin
All Sides Painted; Satin Finish
MP to Match Building (TBD ■)
MP to Match Building Beams (TBD ■)

'BUSINESS PARK'
Letters Routed from Cabinet Face

BACKER
1/2" Clear Push-Thru Acrylic
.080 FCO Aluminum Applied to Faces
Painted; Satin Finish
MP to Match Building Beams (TBD ■)

ILLUMINATION
Internally Illuminated
White LED - GE Tetra MAX2 7100K

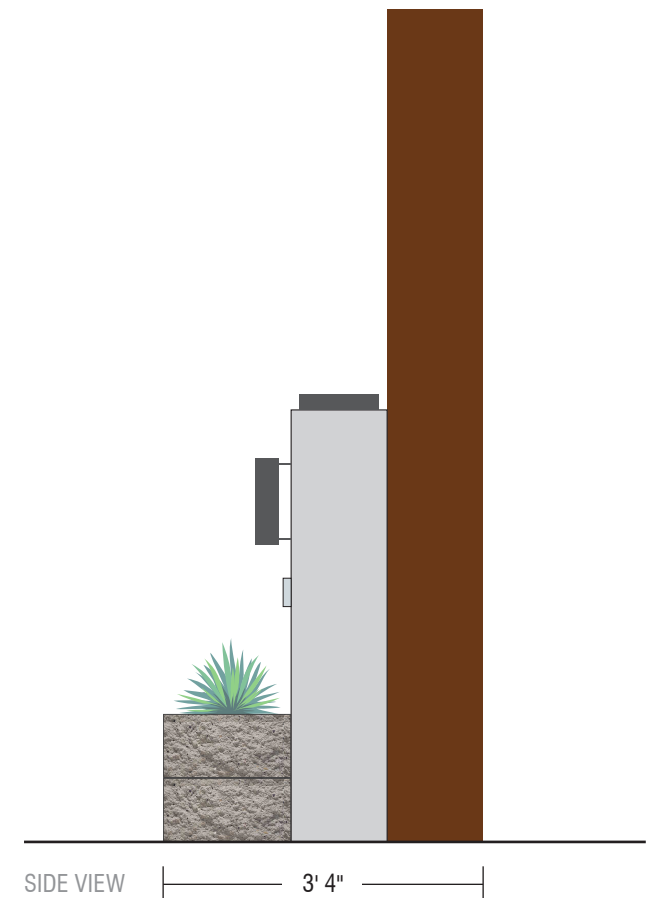
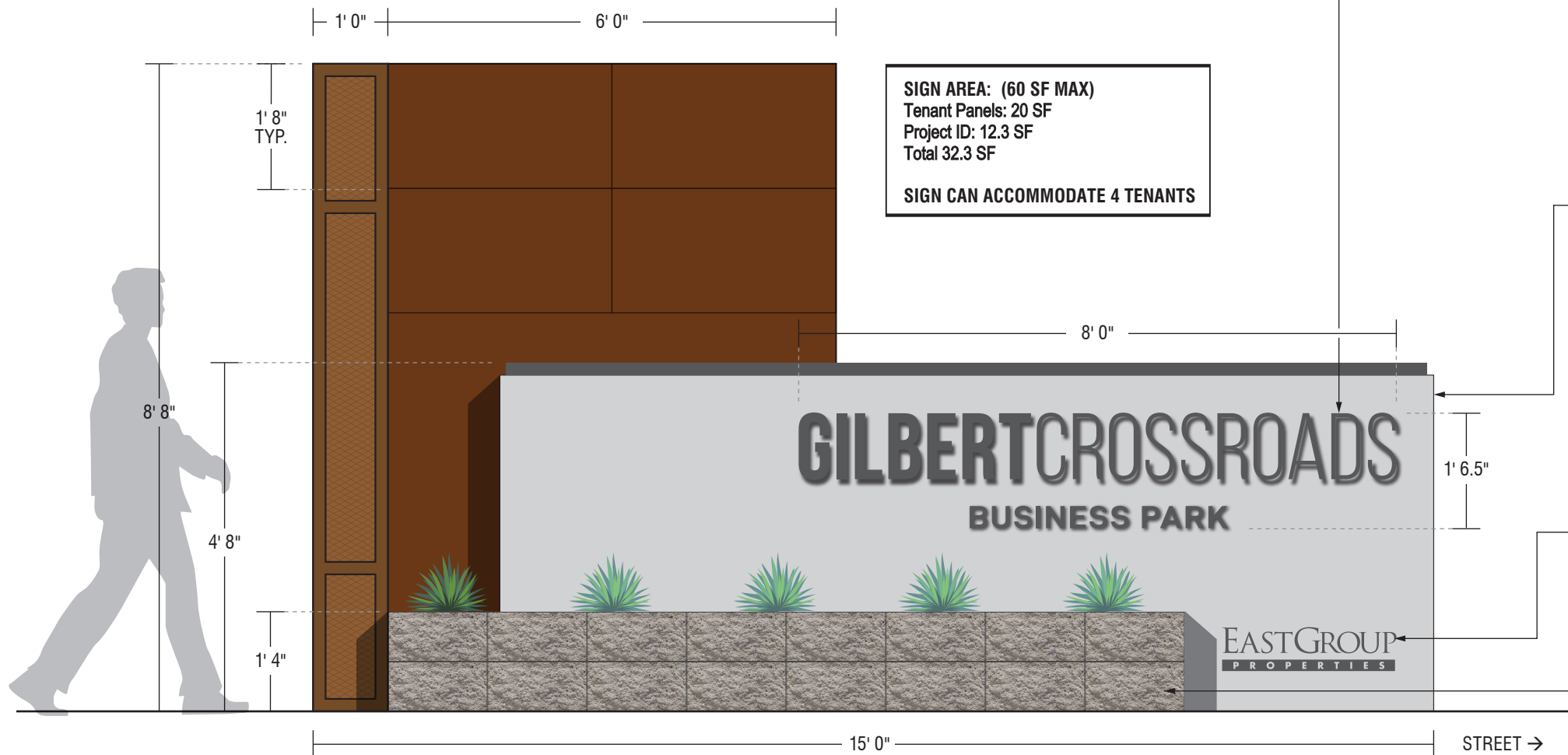
DEVELOPER ID

1/4" FCO Aluminum
Painted; Satin Finish
MP to Match Building Beams (TBD ■)

INSTALLATION
Mounted Flush to Cabinet
as Required

MASONRY PLANTER

To Match Building Masonry
Concrete or Brick



A Project Detail - Orientation A
SCALE 1/2" = 1'0"

A

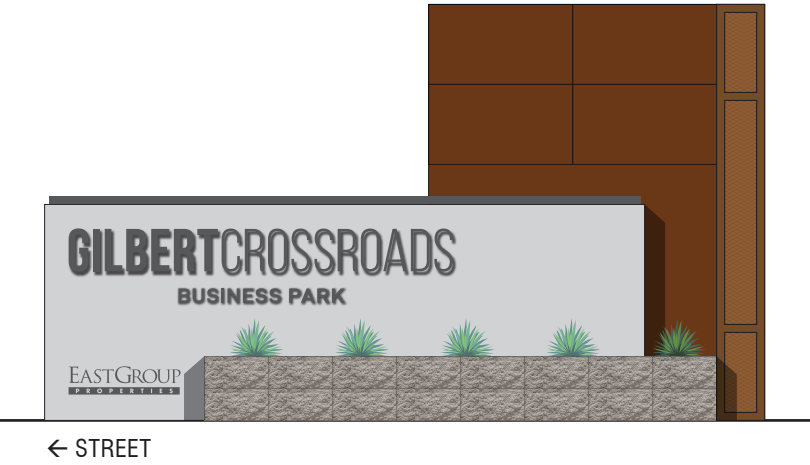
INDUSTRIAL MULTI-TENANT MONUMENT SIGNS

Alternate



B

Simulated Night View
SCALE 3/8" = 1'0"



C

Orientation B
SCALE 1/4" = 1'0"

SIGN AREA & SIZE RESTRICTIONS

SIGN AREA CALCULATION Allowable Sign Area for Attached Signs is calculated as follows: The total sign area for tenant occupied buildings up to 75' from Right of Way shall not exceed one (1) square feet for each front foot of building occupancy. The total sign area for tenant occupied buildings 75' or more from Right of Way shall not exceed one and a half (1.5) square feet for each front foot of building occupancy. The maximum wall sign area of signs located on the second floor of a two story building shall not exceed fifty (50) percent of the lineal building elevation on the second floor. Where a sign consists only of individual letters, numerals, symbols or other similar components, the total area of the sign shall be calculated by the sum of the areas of the smallest square or rectangle that encloses all the text and graphics as shown in Figure 1 at right. More than one bounding box can be used in defining Sign Area as long as all bounding boxes are conjoined to an adjacent bounding box. If more than one bounding box is used, they must all be connected in some way - see Figure 2 at right.

MINIMUM SIGN AREA Each tenant sign located on the first floor of a one or two story building shall be permitted a minimum sign area of thirty-two (32) square feet. Each tenant sign located on the second floor of a two story building shall be permitted a minimum sign area of seventy-five (75) square feet.

SIGN ENVELOPE is an area not to exceed 80% of the vertical and 80% of the horizontal background of the building surface upon which the sign is to be installed. Sign envelope does not define the total allowable sign area. It defines the outermost reaches that a sign can occupy. Sign area calculations based on lineal feel of leased space still apply. See Figure 3 at right.

SIGN LOCATION All signs or devices advertising an individual use, business or building shall be attached to the building at the location directed by Landlord. In general, all signs shall fit appropriately into architectural sign areas. Margins left by the sign should be in balance around the sign. Color breaks, control joints, high variation in surface texture or other obvious architectural delineation of spaces shall define the architectural sign area. Wall Signs shall not be located closer to the top of a parapet wall than one-half the vertical dimension of the largest letter or character. Top floor signage located on multi-story buildings may span floor plates.



FIGURE 1



FIGURE 2

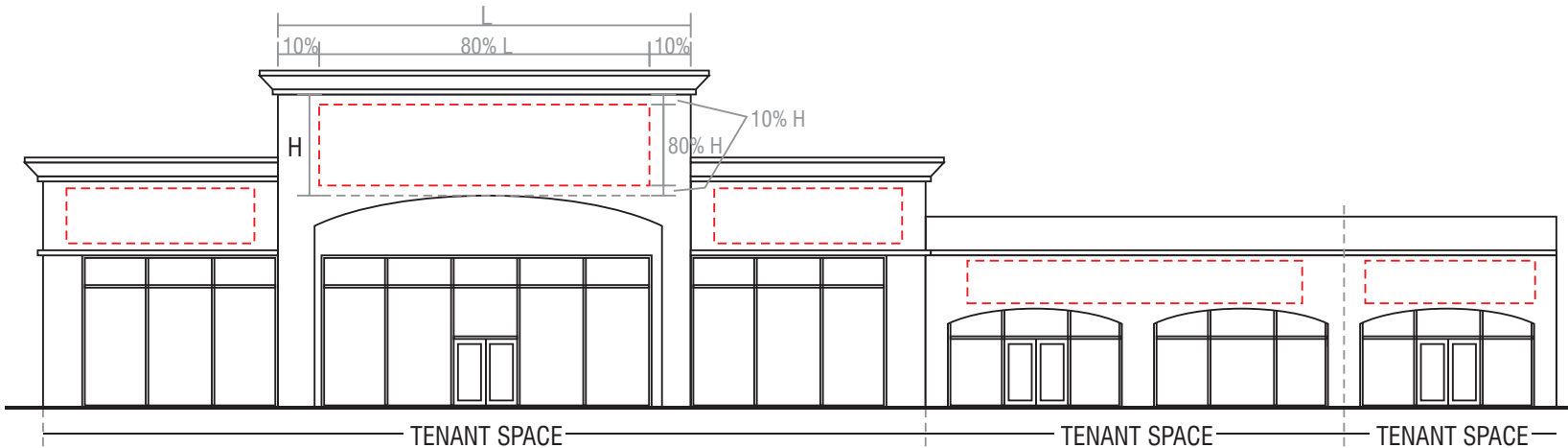


FIGURE 3



NORTH ELEVATION

A1 10' 0" Tall x 15' 6" Wide

A2 10' 0" Tall x 15' 6" Wide

A3 10' 0" Tall x 22' 6" Wide

A4 10' 0" Tall x 22' 6" Wide

A5 10' 0" Tall x 22' 6" Wide

A6 10' 0" Tall x 22' 6" Wide

A7 10' 0" Tall x 15' 6" Wide

A8 10' 0" Tall x 15' 6" Wide



EAST ELEVATION

A9 10' 0" Tall x 17' 0" Wide

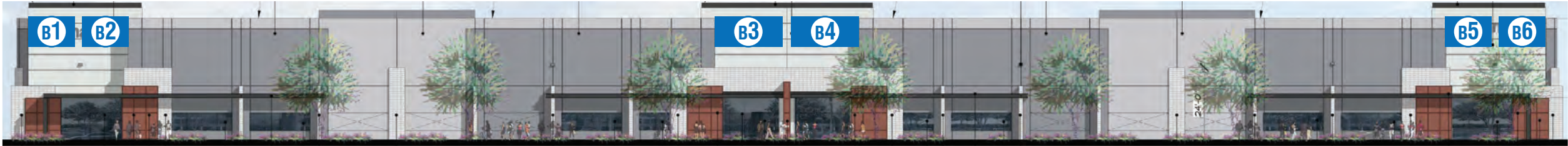


WEST ELEVATION

A10 10' 0" Tall x 17' 0" Wide



SOUTH ELEVATION (No Sign Bands)



SOUTH ELEVATION

- B1** 10' 0" Tall x 15' 6" Wide

B2 10' 0" Tall x 15' 6" Wide
- B3** 10' 0" Tall x 22' 6" Wide

B4 10' 0" Tall x 22' 6" Wide
- B5** 10' 0" Tall x 15' 6" Wide

B6 10' 0" Tall x 15' 6" Wide



WEST ELEVATION

- B7** 10' 0" Tall x 17' 0" Wide



EAST ELEVATION

- B8** 10' 0" Tall x 17' 0" Wide



NORTH ELEVATION (No Sign Bands)



NORTH ELEVATION

- c1 10' 0" Tall x 15' 6" Wide
- c2 10' 0" Tall x 15' 6" Wide

- c3 10' 0" Tall x 24' 0" Wide
- c4 10' 0" Tall x 24' 0" Wide

- c5 10' 0" Tall x 24' 0" Wide
- c6 10' 0" Tall x 24' 0" Wide

- c7 10' 0" Tall x 15' 6" Wide
- c8 10' 0" Tall x 15' 6" Wide



EAST ELEVATION

- c9 10' 0" Tall x 17' 0" Wide



WEST ELEVATION

- c10 10' 0" Tall x 17' 0" Wide



SOUTH ELEVATION (No Sign Bands)



SOUTH ELEVATION

D1 10' 0" Tall x 15' 6" Wide
D2 10' 0" Tall x 15' 6" Wide

D3 10' 0" Tall x 22' 6" Wide
D4 10' 0" Tall x 22' 6" Wide

D5 10' 0" Tall x 15' 6" Wide
D6 10' 0" Tall x 15' 6" Wide



WEST ELEVATION

D7 10' 0" Tall x 17' 0" Wide



EAST ELEVATION

D8 10' 0" Tall x 17' 0" Wide



NORTH ELEVATION (No Sign Bands)

INDIVIDUAL LETTER SIGNS

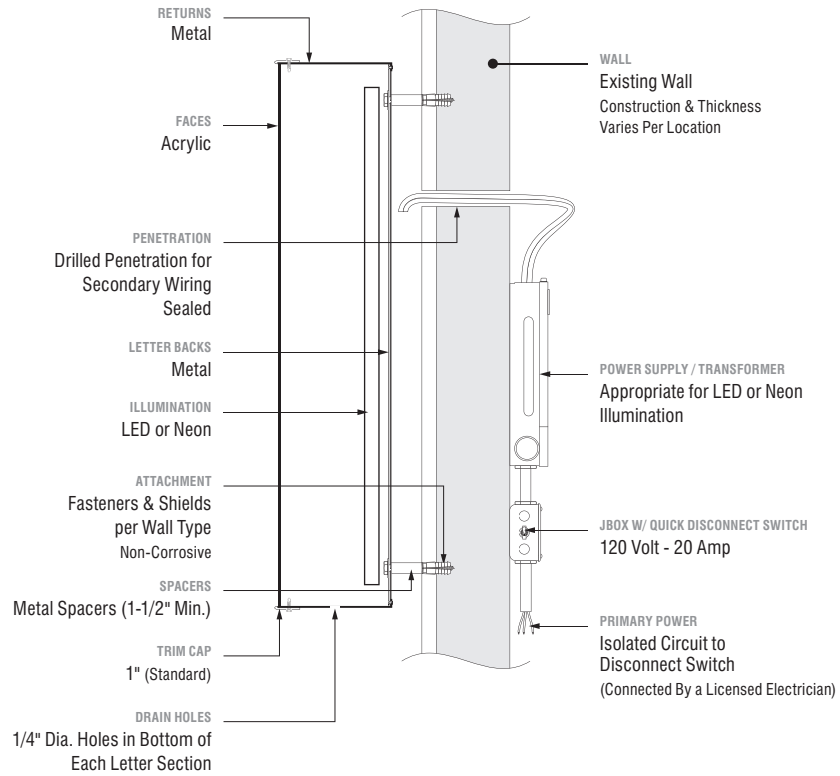
Individual letter signs are signs that feature text and/or logo symbols that are individually attached to a building surface.

Individual letter signs shall consist of individual LED or Neon illuminated or non-illuminated pan channel or reverse pan channel letters with 3" to 5" Deep returns. FCO Aluminum may be used for smaller letters if necessary. All Individual letter signs are to be mounted off wall surface with 1-1/2" (Min.) spacers.



EXAMPLE INDIVIDUAL LETTER SIGNS

B1 INDUSTRIAL TENANT WALL SIGNS (ILLUMINATED SIGN TYPES)

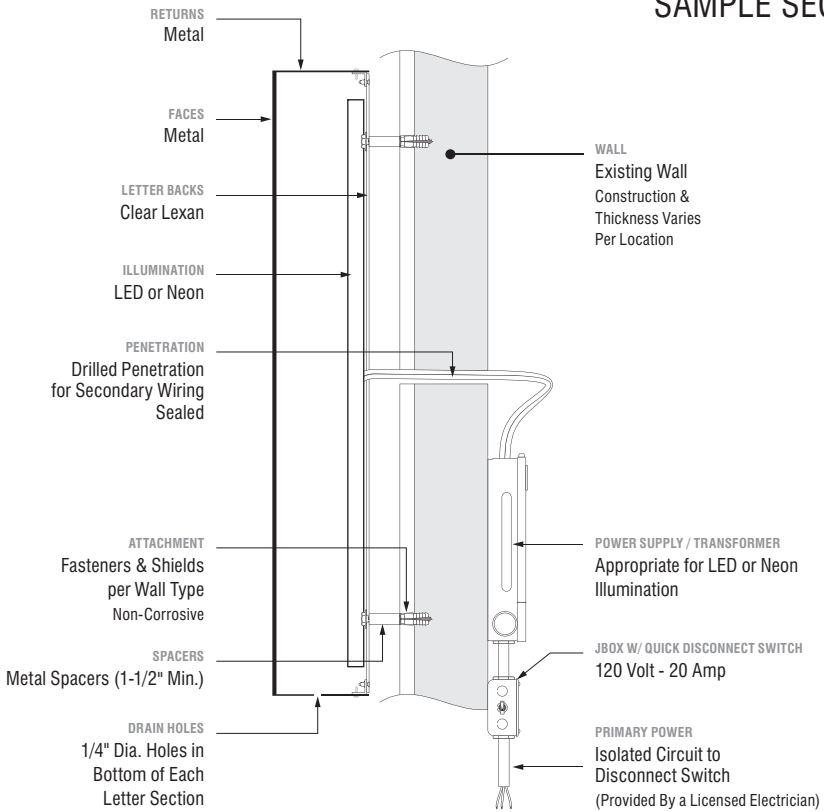


Pan Channel Letter
Internally Illuminated

A Section Detail - Typical

Pan Channel Letter / LED Internally Illuminated / Flush Mounted

SAMPLE SECTION DETAILS - RECOMMENDED SIGNAGE

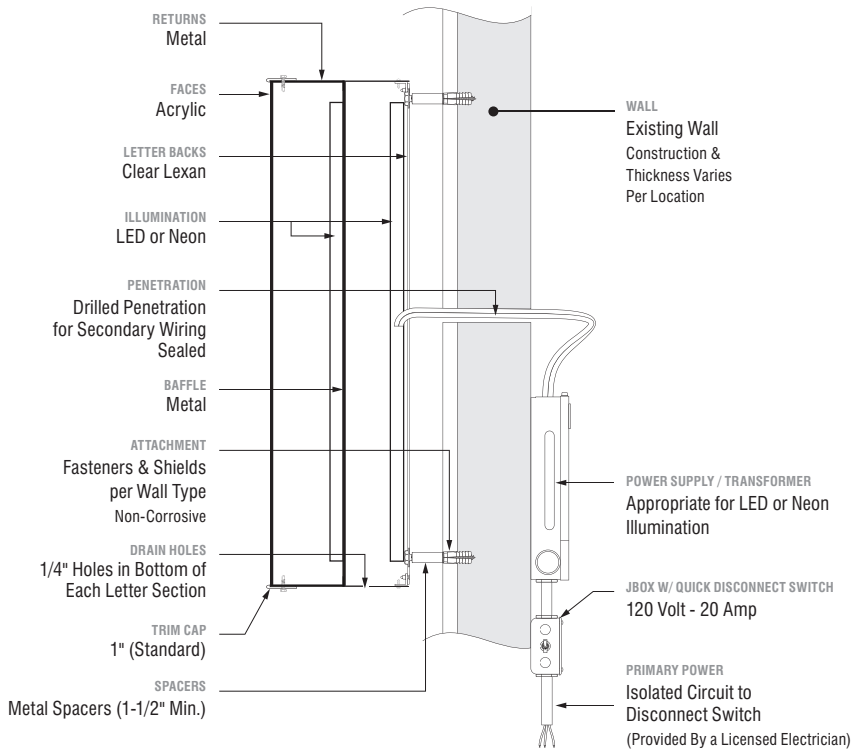


Reverse Pan Channel Letter
Halo-Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on
Signs Installed on Awnings.

B Section Detail - Typical

Reverse Pan Channel Letter / LED Halo-Illuminated / Mounted Off Wall

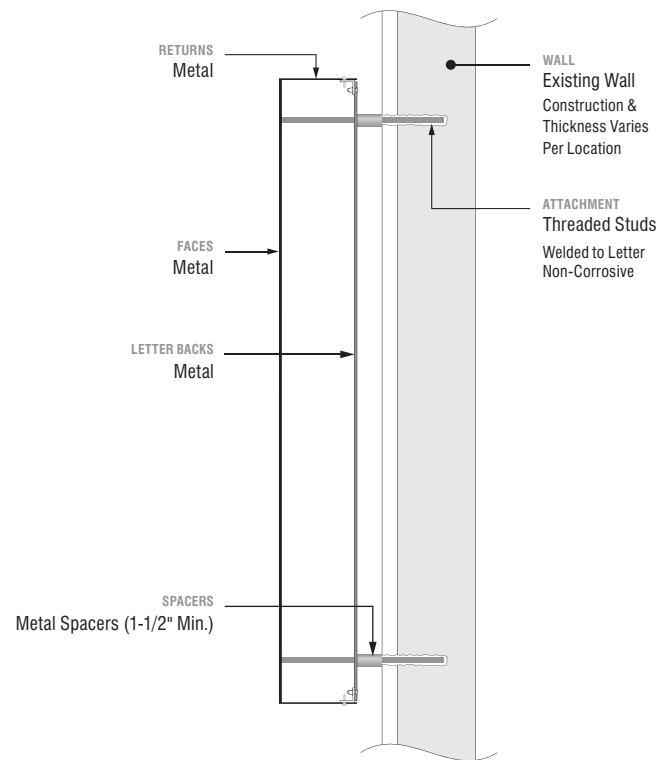


Channel Letter
Face and Halo Illuminated

NOTE: Back-Plate for Halo Illumination May be Required on
Signs Installed on Awnings.

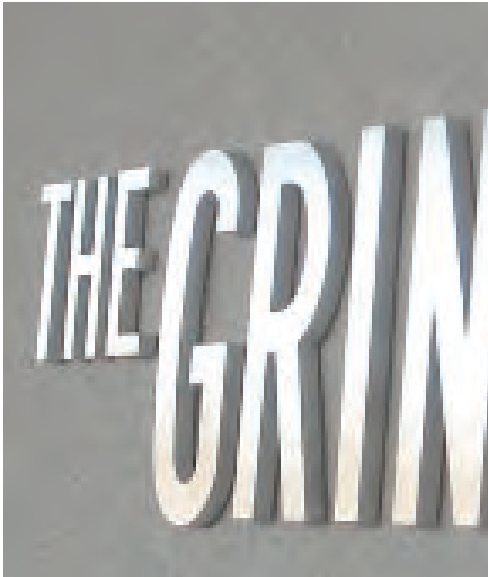
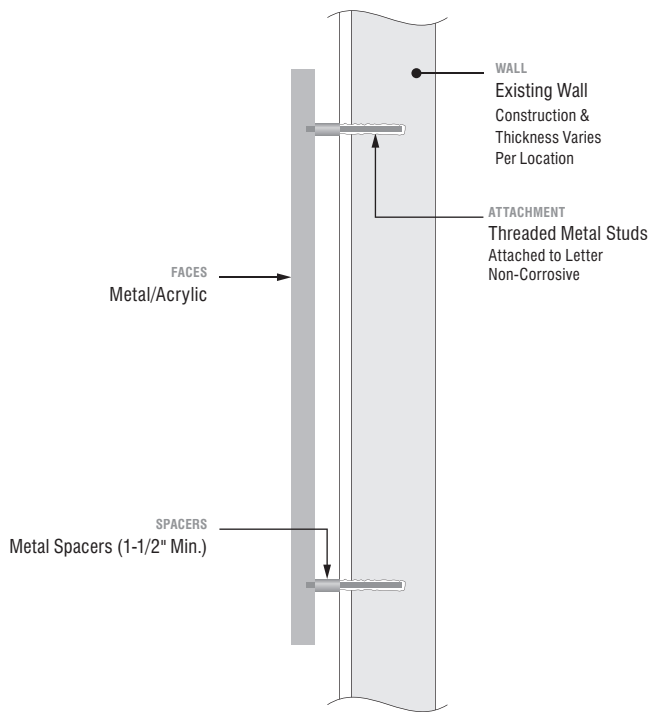
C Section Detail - Typical

Channel Letter / Face and Halo Illuminated



Reverse Pan Channel Letter
Non-Illuminated

D Section Detail - Typical
Reverse Pan Channel Letter / Non-Illuminated / Stud Mount With Spacers



Flat Cut Out Letter
Non-Illuminated

E Section Detail - Typical
Flat Cut Out Letter / Non-Illuminated / Stud Mount With Spacers

MISC. TENANT ID SIGNS

TEMPORARY RETAIL / PORTABLE SIGNS

A temporary retail or portable sign is a sign either portable or stationary used to display information relating to a land use or event of limited duration which is intended to be removed upon termination of said land use or event. Temporary retail and portable signs shall not count against the maximum sign area, height or quantity allowed. One (1) temporary retail or portable sign shall be permitted for and at each entry point. The maximum sign area for temporary retail or portable sign shall be eight (8) square feet. Maximum sign height shall not be regulated, but the signs taller than three and a half (3.5) feet must be designed so they do not endanger pedestrians or vehicles by falling over. Temporary retail or portable signs must be decorative elements, compatible with the architecture of the base building, the tenants storefront, or the setting they will be placed in. Temporary retail or portable signs are not permitted to block building entrances or sidewalk clear routes. Permits for temporary retail or portable sign must include the locations where they may be set up.



EXAMPLE TEMPORARY RETAIL / PORTABLE SIGNS

INCIDENTAL SIGNAGE

Text and logos shall be no more than two (2) inches in height. Incidental signage may include the following information that is typically provided for commercial establishments:

- a. The name of the establishment
- b. Hours of operation
- c. Suite numbers
- d. Modifiers of the products sold
- e. Logos and other graphic elements
- f. Credit cards accepted decal
- g. Chamber of commerce membership decal
- h. Open/Closed sign less than one-half (1/2) square foot, not permanently attached to the Storefront glazing
- i. No smoking decals less than one-half (1/2) square foot
- j. Other decals required by Law



EXAMPLE INCIDENTAL SIGNAGE

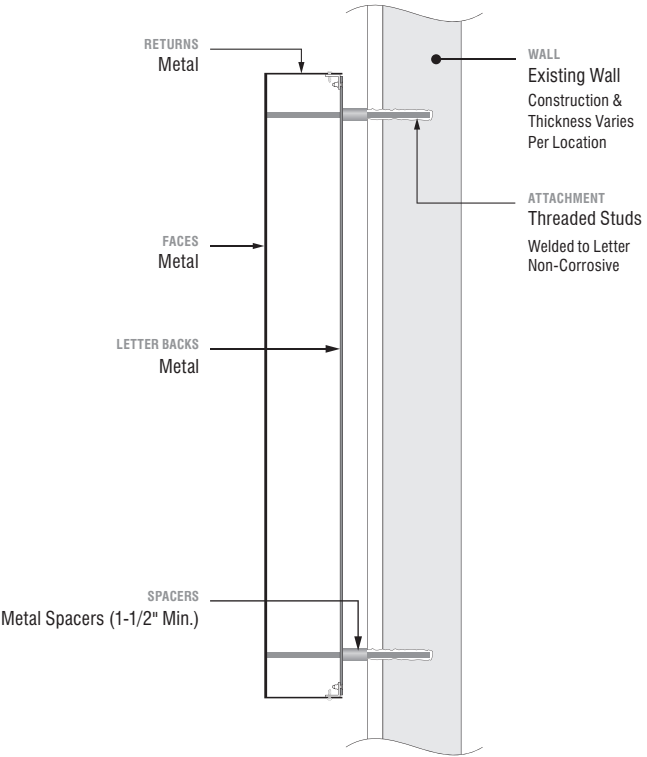
MISC. TENANT ID SIGNS

ADDRESS

Address signs including street, building and suite numbers which do not exceed six (6) square feet.

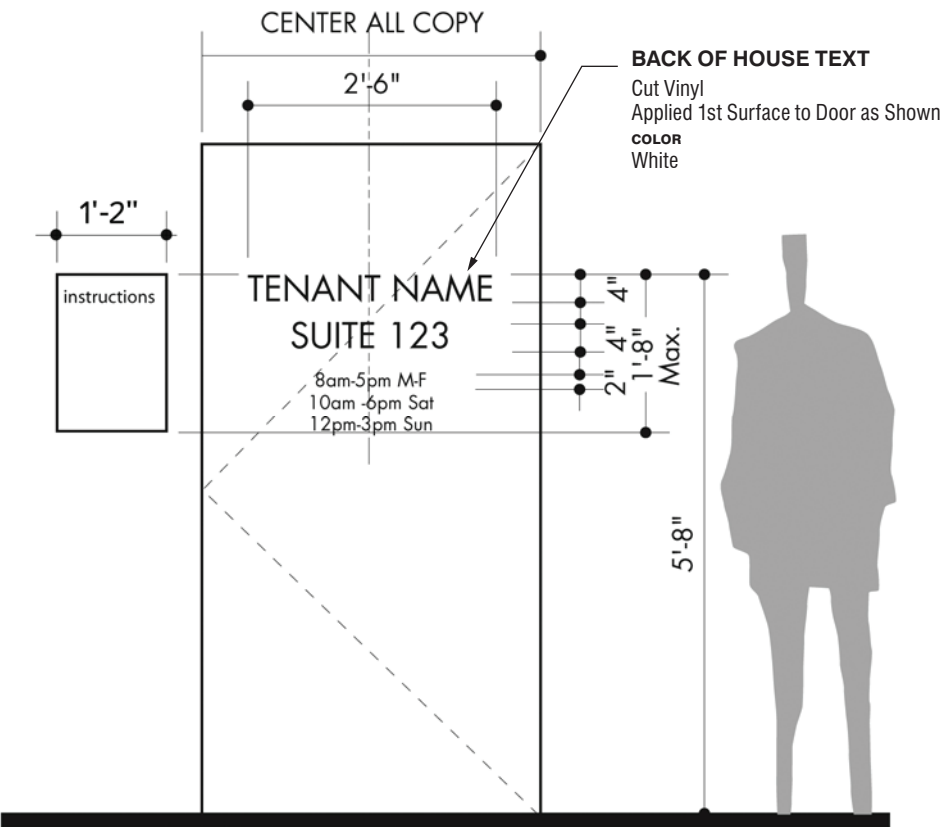
BACK OF HOUSE SIGNS

Shop Tenants: Back of house signs shall include signage located in and around a back door entrance to a building and shall be permitted as shown at right, without counting against the maximum sign area.



Section Detail - Typical

Reverse Pan Channel / Non-Illuminated / Stud Mount With Spacers



MISC. TENANT ID SIGNS

DIRECTIONAL SIGNS

A directional sign shall be a sign which includes copy offering pertinent directional information for the purpose of assisting in the flow of vehicular or pedestrian traffic. Directional signs are not advertising nor commercially oriented and shall not count against the maximum sign area allowed. The maximum sign area for directional signs shall be three (3) square feet per code. Plaques must be decorative elements, compatible with the architecture or the site they are a part of.



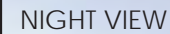
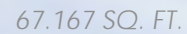
EXAMPLE DIRECTIONAL SIGNS

WINDOW SIGNS

Window signs or applied graphics shall be any sign placed on, affixed to, painted on, or located within the casement or sill area of a mineral glass window or other glazing. Dimensional letters attached to the glazing must have matching dimensional letters on each side of the glazing or a consistent and permanent opaque finish. Window sign area shall not exceed 25% of each window area.



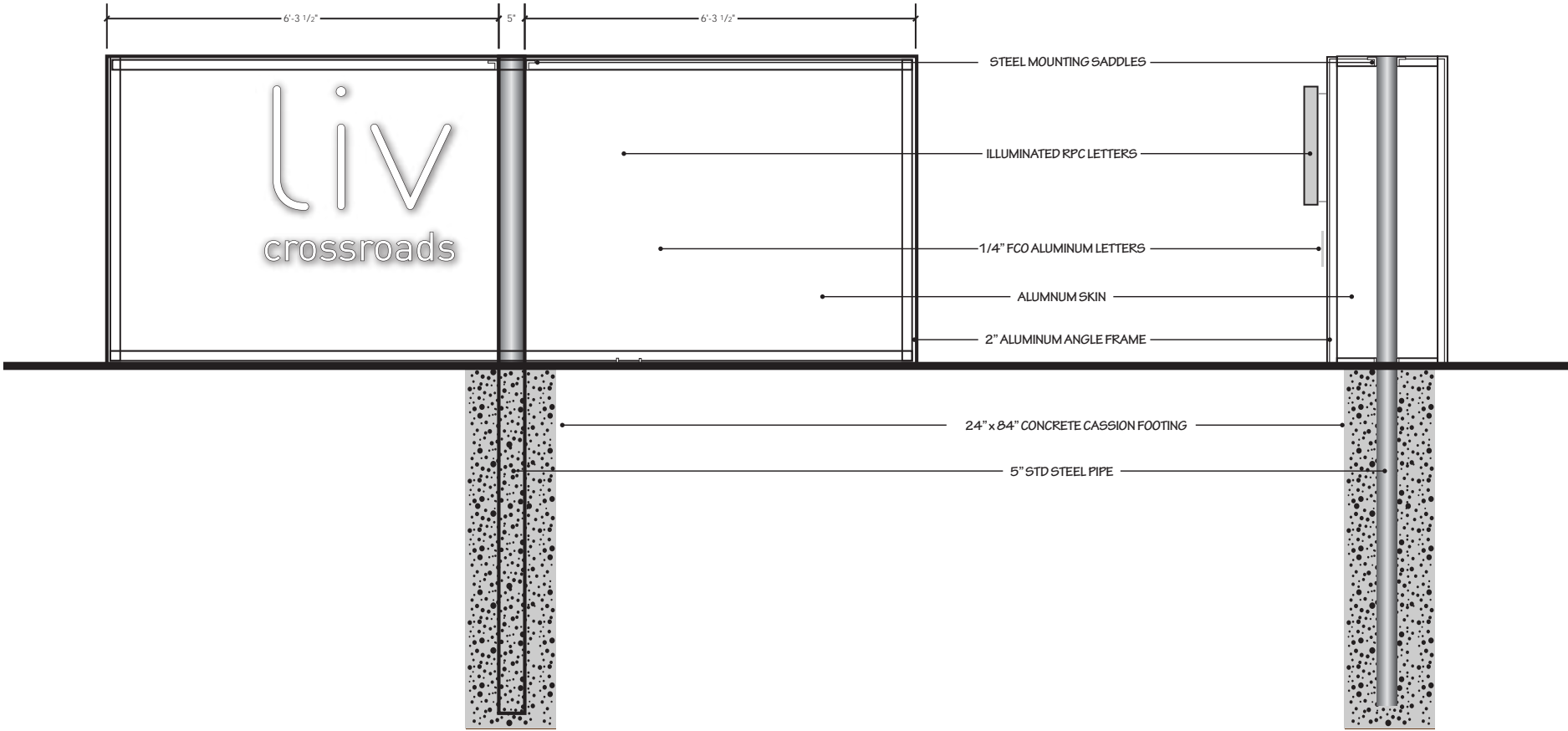
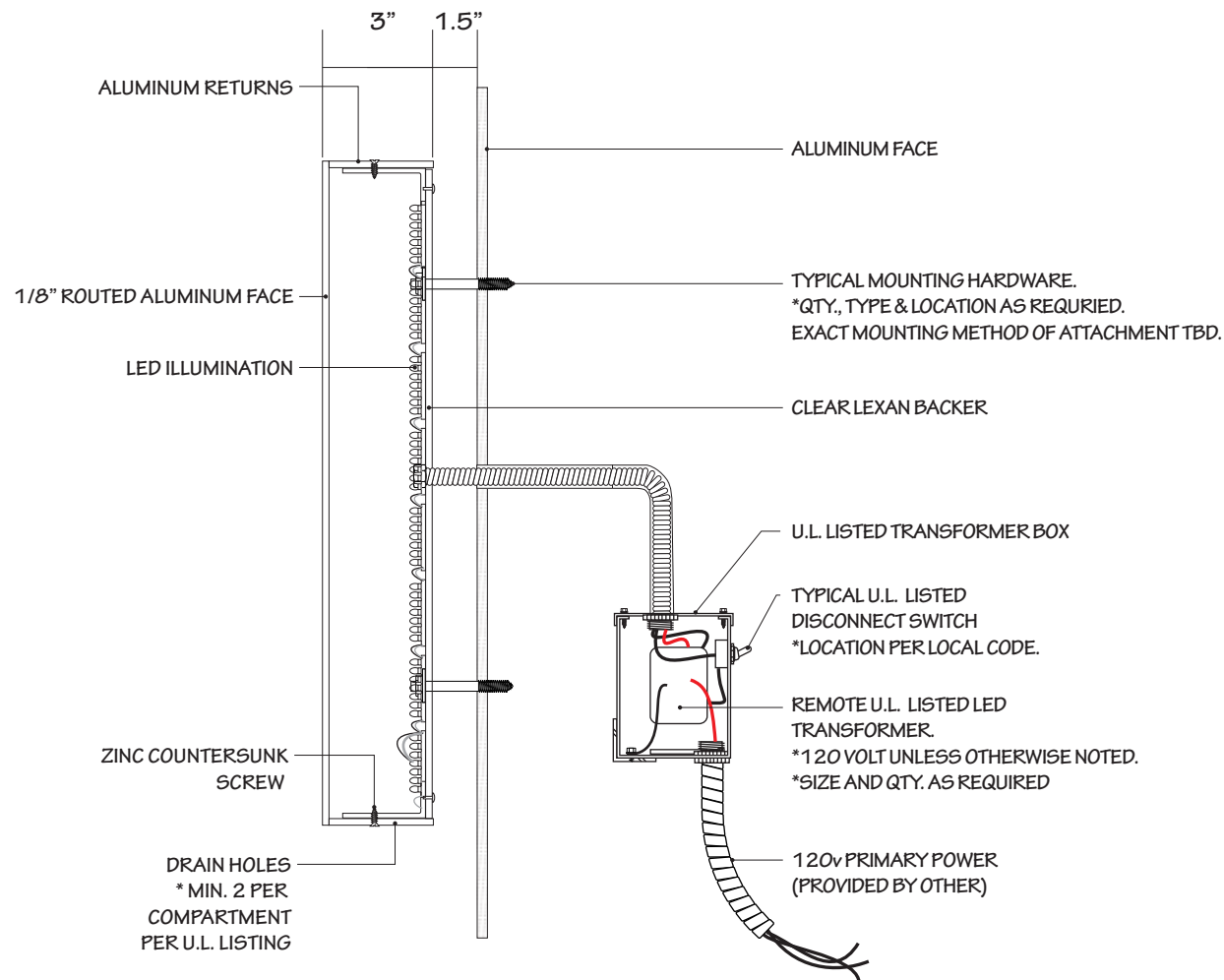
EXAMPLE WINDOW SIGNS



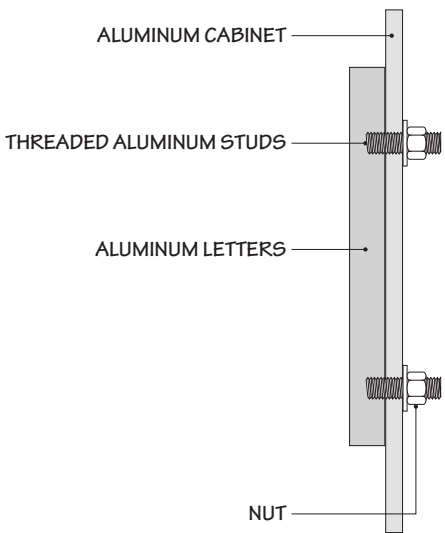
- ## COLOR SCHEDULE:
- | | |
|-------------------------------------------------------------------------------------|-------------------------------|
|  | TWILIGHT TAUPE TBD
DEC6060 |
|  | SILVER BULLET TBD
DEC6381 |
|  | SILVER LAKE TBD
DEC6379 |
|  | BANK VAULT TBD
DEC6383 |
|  | MP BRUSHED ALUMINUM |
|  | PMS 167 C
MP 192 |
|  | BLACK BEAN
DE 6385 |

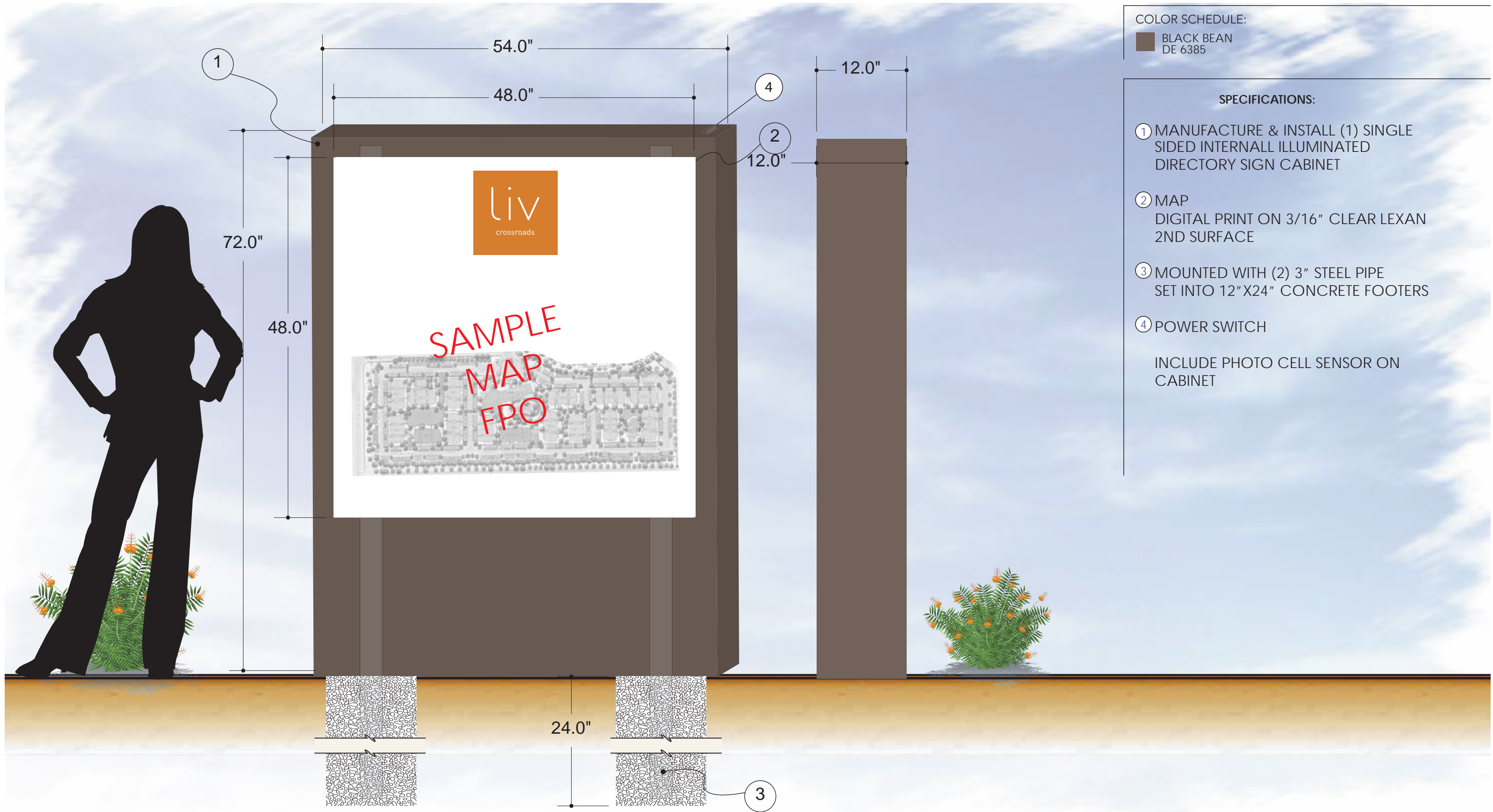


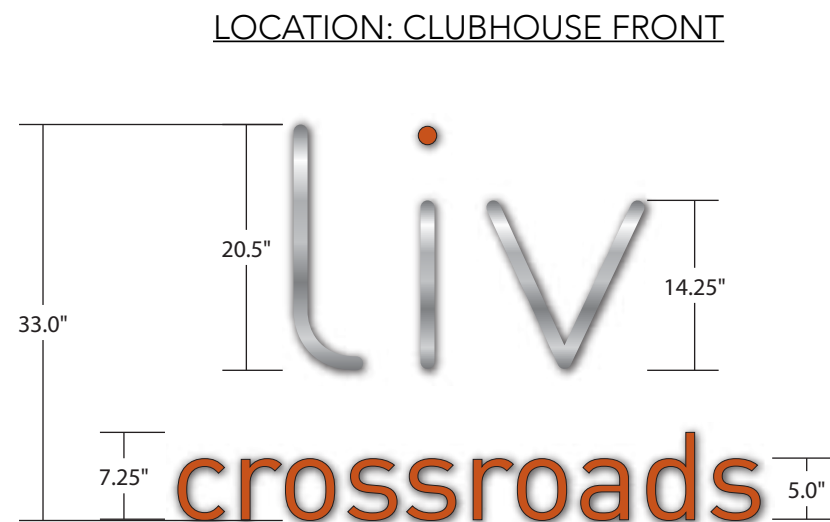
- ### SPECIFICATIONS:
- ① 1/8" ROUTED ALUMINUM FACES
.063 ALUMINUM RETURNS; 3" DEEP
PAINTED; MP BRUSHED ALUMINUM & MP 192; SATIN
.125" CLEAR LEXAN BACKS
WHITE LED INTERNAL ILLUMINATION
1.5" SPACERS
 - ② 1/8" ALUMINUM CABINET
PAINTED; DE 6385 BLACK BEAN; SATIN FINISH
 - ③ CMU BLOCK WALL
SAND TEXTURE FINISH
PAINTED; SILVER LAKE; EGGSHELL FINISH - TBD
12"x2"x16" HONED BLOCK CAP
PAINTED; TBD; EGGSHELL FINISH - TBD
(BY OTHERS)
 - ④ CMU BLOCK WALL WITH GREY/BROWN STONE VENEER
12"x2"x16" HONED BLOCK CAP
PAINTED; TBD; EGGSHELL FINISH
(BY OTHERS)
 - ⑤ 1/4" ALUMINUM FCO LETTERS
PAINTED; MP 192
STUD MOUNT FLUSH



SECTION DETAIL - CABINET
SCALE: NTS



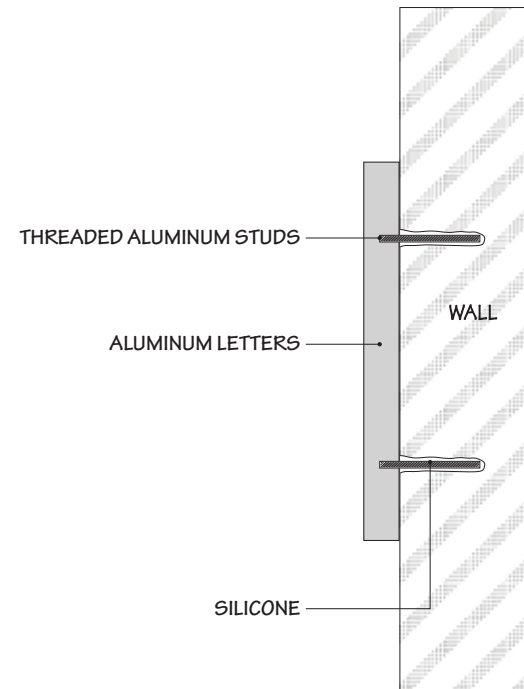




PROJECT DETAIL

SCALE: 3/4" = 1'0"

Qty: 1



SECTION DETAIL

NTS

COLOR SCHEDULE:

- MP BRUSHED ALUMINUM
- PMS 167 C
MP 192

SPECIFICATIONS:

"liv" Letters

1/8" ALUMINUM FACES
.063 ALUMINUM RETURNS; 3" DEEP
PAINTED; MP BRUSHED ALUMINUM; SATIN FINISH
.040 BRUSHED WRISCO OVERLAMINANT ON FACES
HORIZONTAL FINISH
STUD MOUNTED FLUSH

DOT TO "i"

1/8" ALUMINUM FACES
.063 ALUMINUM RETURNS; 3" DEEP
PAINTED; PMS 167 C; SATIN FINISH
STUD MOUNTED FLUSH

"crossroads" Letters

1/4" ROUTED ALUMINUM
PAINTED; PMS 167 C
STUD MOUNTED FLUSH TO WALL WITH
10-24 THREADED STUDS





THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



COLOR SCHEDULE:

- MP BRUSHED ALUMINUM
- PMS 167 C
- MP 192

SPECIFICATIONS:

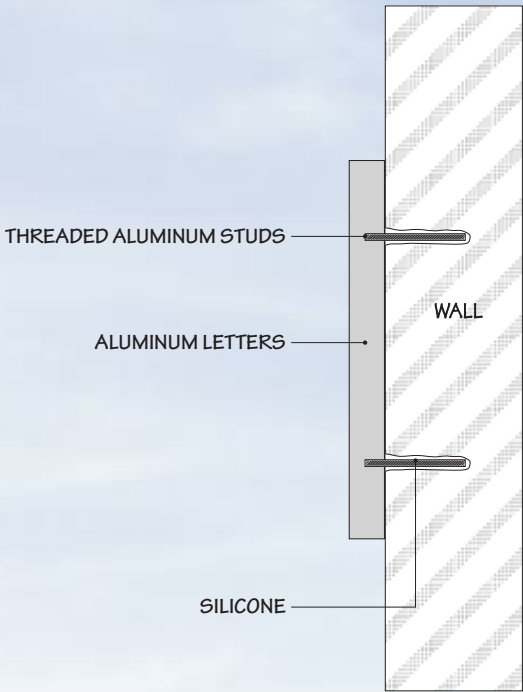
"liv" RPC Letters
1/8" ROUTED ALUMINUM FACES
.063 WELDED ALUMINUM RETURNS; 3" DEEP
PAINTED; MP BRUSHED ALUMINUM & PMS 167C;
SATIN FINISH
.150 CLEAR LEXAN BACK
WHITE LED ILLUMINATION
STUD MOUNTED WITH 1.5" ALUMINUM STAND OFFS
*****TOP PENETRATIONS*****

"crossroads" FCO Letters
1/4" ROUTED ALUMINUM
PAINTED; PMS 167 C; SATIN FINISH
STUD MOUNTED FLUSH

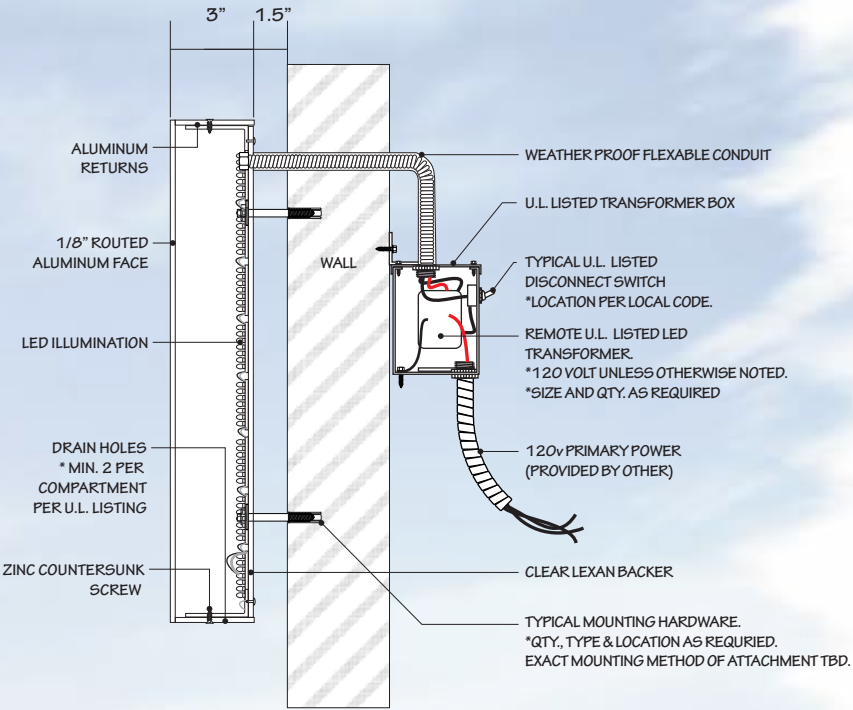
PROJECT DETAIL
SCALE: 1/2" = 1'0"

Qty: 2

LOCATIONS: BUILDING 28 FRONT
BUILDING 6 LEFT



SECTION DETAIL - "crossroads" LETTERS
NTS



SECTION DETAIL - "Liv" LETTERS
NTS

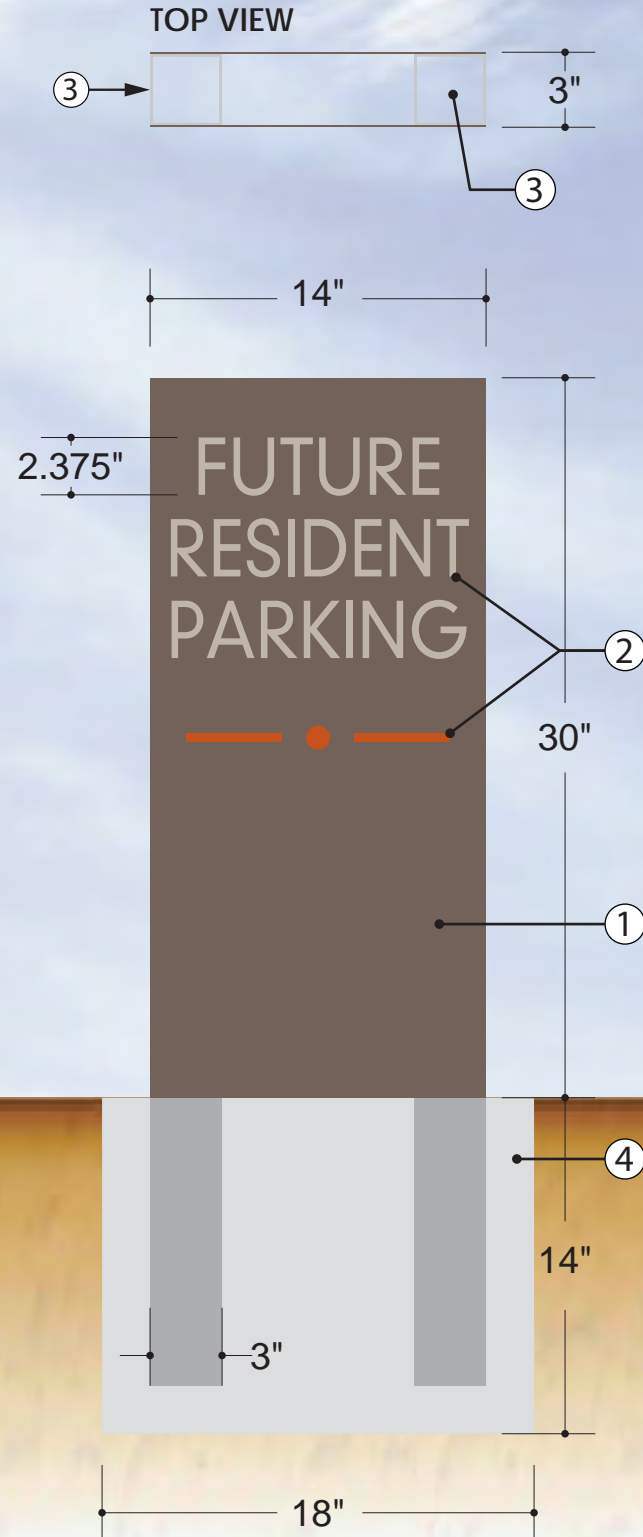


BLDG 28 FRONT ELEVATION

1/16" = 1'



BLDG 6 LEFT ELEVATION



COLOR SCHEDULE:

- BLACK BEAN
DE 6385 TBD
- ASH GREY
DEC751 TBD
- PMS 167 C
MP 192

SPECIFICATIONS:

MANUFACTURE AND INSTALL (4)
FUTURE RESIDENT PARKING SIGNS

- ① .063" ALUMINUM SKIN
- ② TEXT, ACCENT AND BACKGROUND ARE
PAINTED COLORS SHOWN (TBD)
- ③ MOUNTED TO (2) 3" SQ TUBE
- ④ SET IN 14" X 18" CONCRETE FOOTING.